

**FIRST AMENDMENT TO
REAL PROPERTY LEASE AGREEMENT**

SITE: Booker High School
3201 N. Orange Ave.
Sarasota, FL 34234

THIS FIRST AMENDMENT TO THE REAL PROPERTY LEASE AGREEMENT (the "First Amendment") is made and entered into as of September ____, 2023, by and between SCHOOL BOARD OF SARASOTA COUNTY, FLORIDA, with an address of 1960 Landings Blvd., Sarasota, FL 34321, herein referred to as "Lessor", and MILESTONE LIMITED TOWER PARTNERSHIP – IV, a Delaware limited partnership, with an address of 12110 Sunset Hills Road, Suite 600, Reston, VA 20190, herein referred as "Lessee".

RECITALS

A. Lessor and Lessee are parties to that certain Real Property Lease Agreement dated as of October 18, 2022 (the "Lease").

B. Lessor and Lessee desire to amend and modify certain terms of the Lease on the terms and conditions set forth in this First Amendment.

NOW, THEREFORE, in consideration of the mutual covenants and agreements herein contained, the receipt and sufficiency of which are hereby acknowledged, the parties hereto agree to amend the Lease as follows:

1. Amendments. Exhibit A, Exhibit A-1, Exhibit A-2 and Exhibit B of the Lease are hereby deleted and replaced in its entirety with Exhibit A, Exhibit A-1, Exhibit A-2 and Exhibit B attached hereto and incorporated herein by reference.

2. Miscellaneous. Except as modified herein, all other terms and provisions of the Lease shall remain unchanged and in full force and effect. Capitalized terms used but not defined herein shall have the meaning set forth in the Lease. This First Amendment may be signed in counterparts. Signatures sent via facsimile or emailed as a PDF shall have the same binding effect as original signatures.

[SIGNATURE PAGE TO FOLLOW]

**SIGNATURE PAGE TO
FIRST AMENDMENT TO REAL PROPERTY LEASE AGREEMENT**

IN WITNESS WHEREOF, the parties have duly executed this First Amendment as of the date set forth above.

LESSOR:

**SCHOOL BOARD OF SARASOTA
COUNTY, FLORIDA**

Approved as to Form and Legal Content
by Shumaker, Loop & Kendrick, LLP
Attorneys for The School Board
of Sarasota County, Florida
Signed: MRM
Date: September 29, 2023

By: _____
Name: _____
Title: _____

LESSEE:

**MILESTONE TOWER LIMITED
PARTNERSHIP – IV**, a Delaware limited
partnership

By: MILESTONE COMMUNICATIONS
MANAGEMENT IV, Inc., a Delaware
corporation, its general partner

By: _____
Name: Leonard Forkas, Jr.
Title: President

EXHIBIT A

Description of Site



TOWER CENTER LOCATION:
 LAT: 27° 22' 00.50" N
 LONG: 82° 32' 28.01" W

| | |
|----------|-----------|
| JOB No.: | 013273014 |
| DATE: | 09/13/23 |
| REV.: | 0 |
| DRAWN: | WTB |
| CHECKED: | DMF |

Kimley»Horn
 11720 AMBER PARK DRIVE, SUITE 600, ALPHARETTA, GA 30009
 PHONE: 770-619-4280 WWW.KIMLEY-HORN.COM

Site Visit Attendees:

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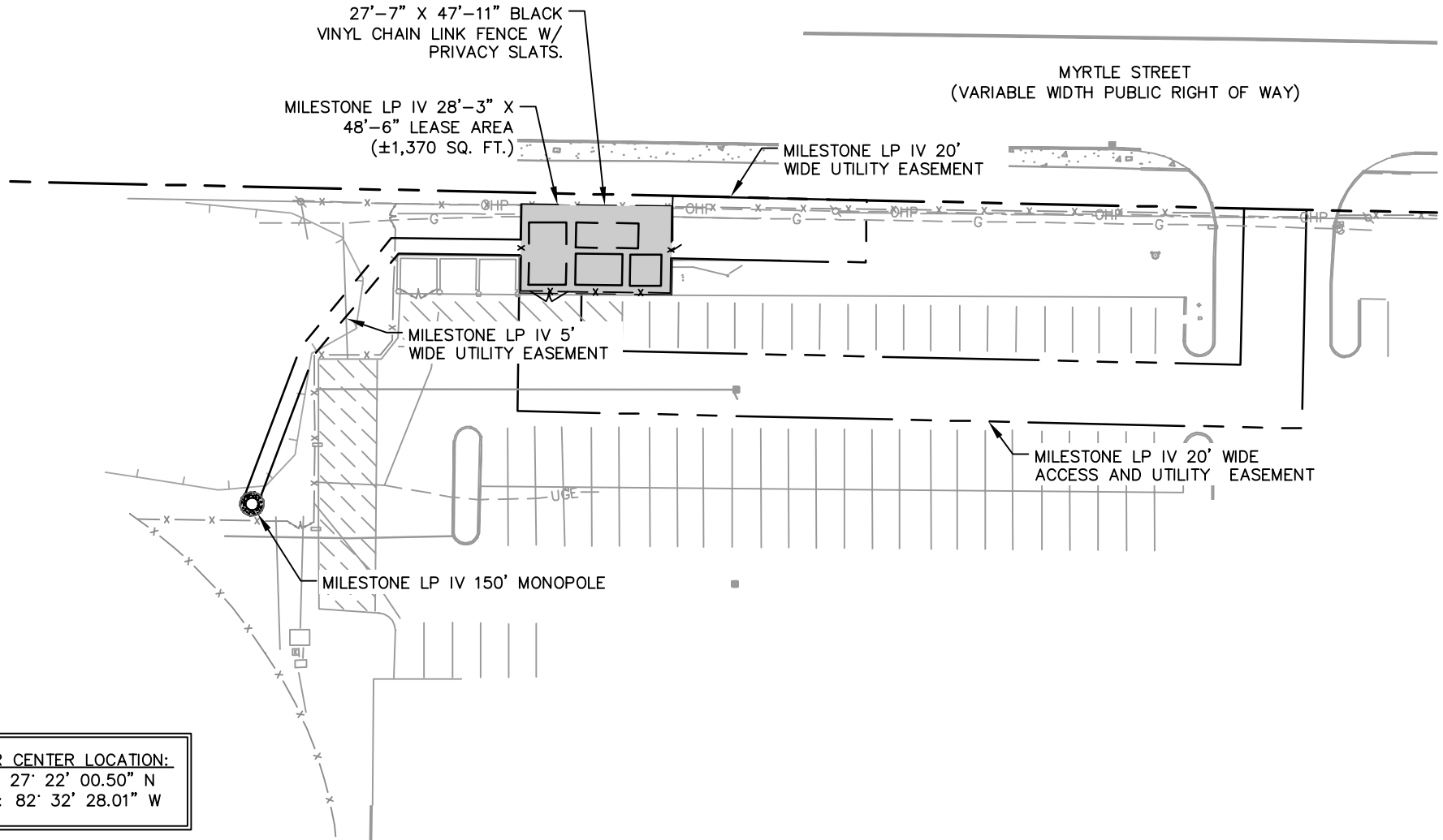
PROPOSED MONOPOLE TOWER
 BOOKER HS
 3201 N ORANGE AVE
 SARASOTA, FL 34234
 SARASOTA COUNTY

EXHIBIT A MILESTONE LP IV BOOKER HS
 TAX PARCEL: 2020030005
 SHEET 1 OF 2

SCALE: 1" = 250'

NOT FOR CONSTRUCTION

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TOWER CENTER LOCATION:
 LAT: 27° 22' 00.50" N
 LONG: 82° 32' 28.01" W

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 SARASOTA COUNTY

EXHIBIT A MILESTONE LP IV BOOKER HS
 TAX PARCEL: 2020030005
 SHEET 2 OF 2

SCALE: 1" = 50'

NOT FOR CONSTRUCTION

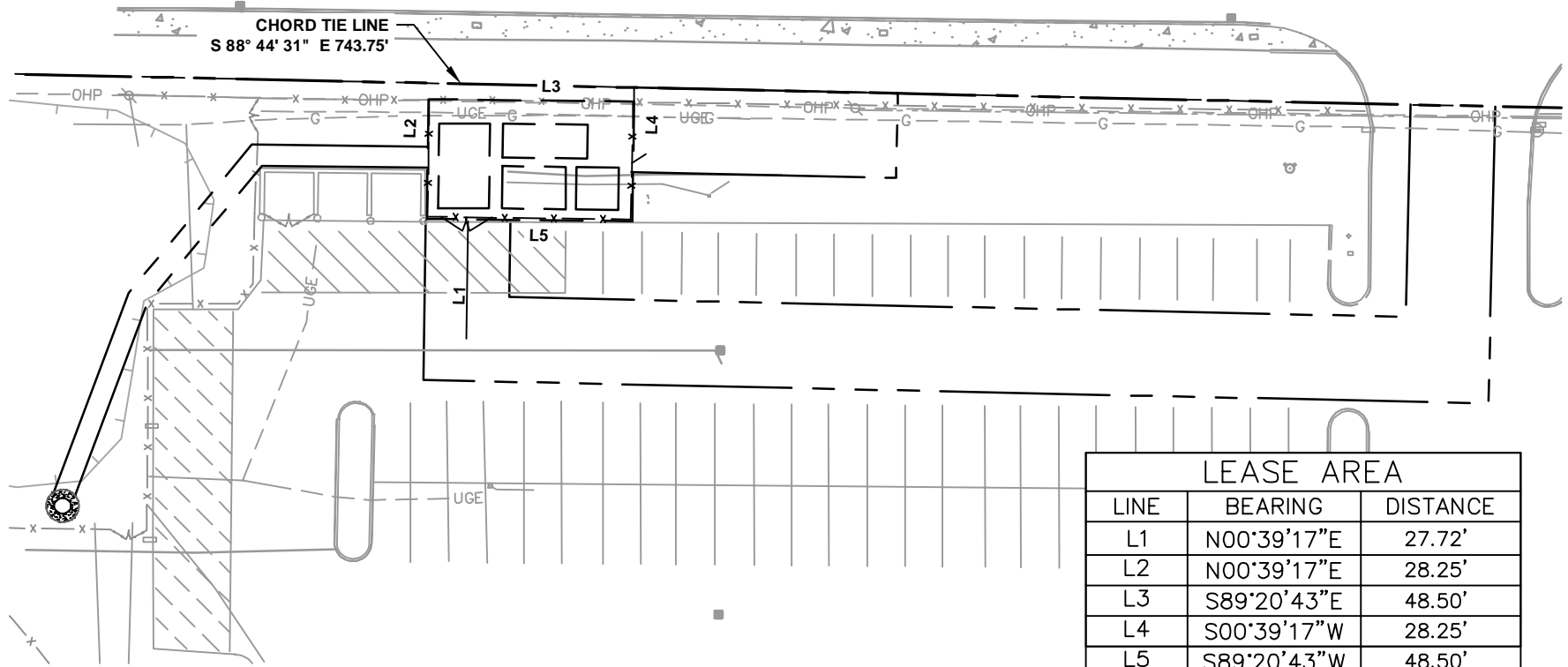
EXHIBIT A-1

Tower Location; Description of Leased Premises

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MYRTLE STREET
(VARIABLE WIDTH PUBLIC RIGHT OF WAY)



| LEASE AREA | | |
|------------|-------------|----------|
| LINE | BEARING | DISTANCE |
| L1 | N00°39'17"E | 27.72' |
| L2 | N00°39'17"E | 28.25' |
| L3 | S89°20'43"E | 48.50' |
| L4 | S00°39'17"W | 28.25' |
| L5 | S89°20'43"W | 48.50' |

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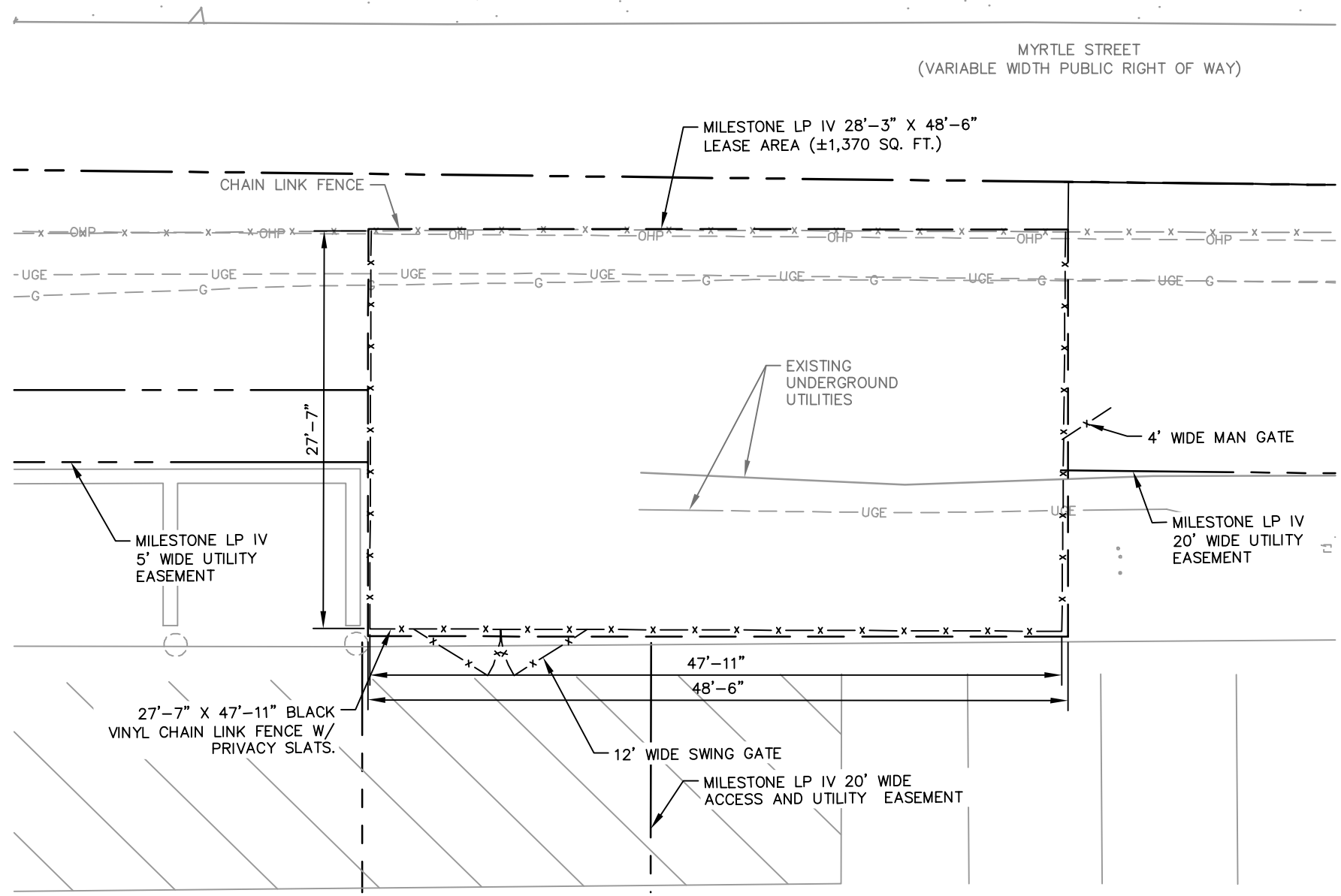
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 SARASOTA COUNTY

EXHIBIT A-1 MILESTONE LP IV BOOKER HS
 LEASED PREMISES
 SHEET 1 OF 4

SCALE: 1" = 40'

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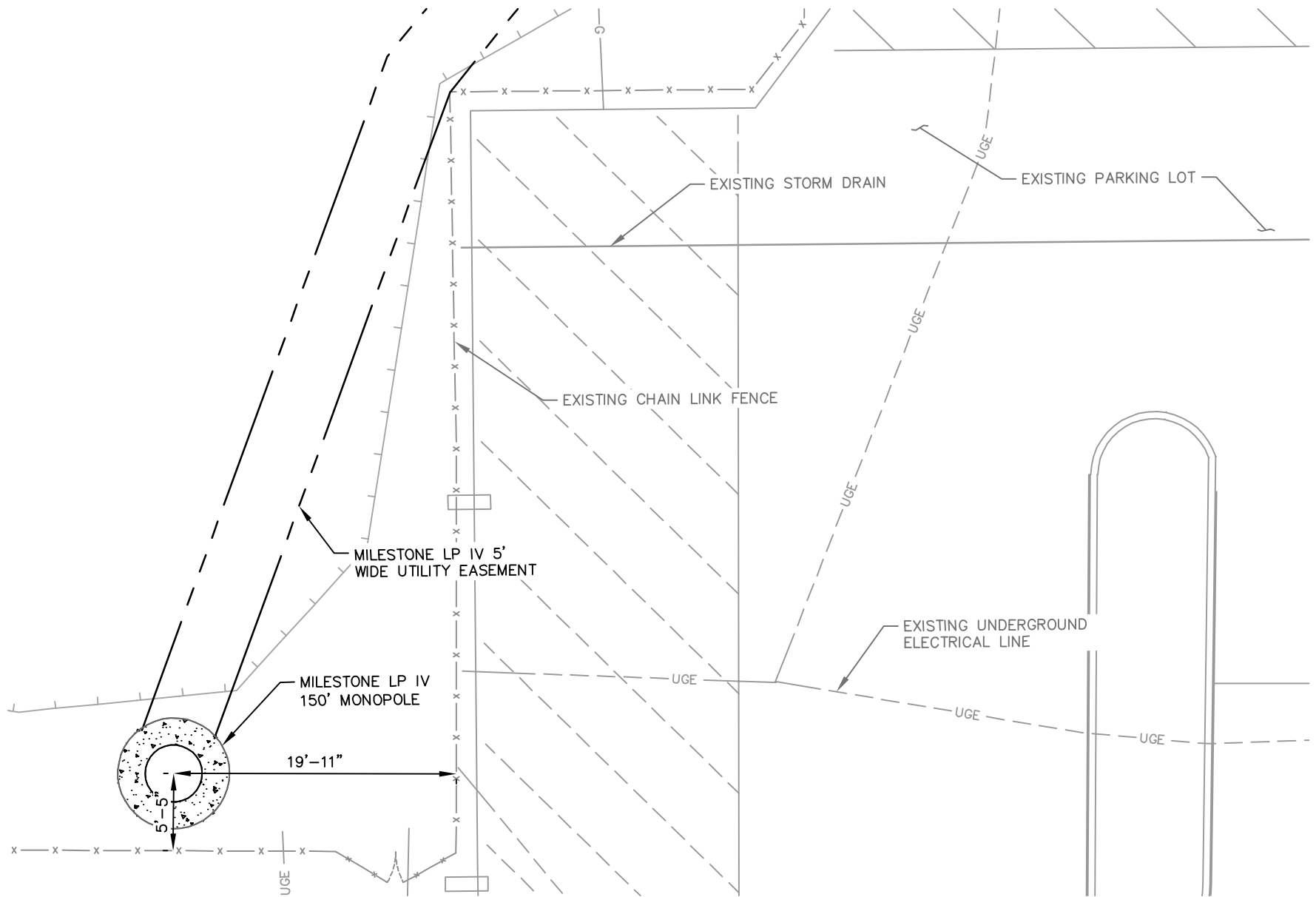
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BOOKER HS
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SARASOTA, FL 34234
SARASOTA COUNTY

EXHIBIT A-1 MILESTONE LP IV BOOKER HS
LEASED PREMISES
SHEET 2 OF 4

SCALE: 1" = 10'

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PROPOSED MONOPOLE TOWER

BOOKER HS

3201 N ORANGE AVE
SARASOTA, FL 34234
SARASOTA COUNTY

EXHIBIT A-1 MILESTONE LP IV BOOKER HS
LEASED PREMISES
SHEET 3 OF 4

SCALE: 1" = 10'

NOT FOR CONSTRUCTION

LEGAL DESCRIPTION FOR LEASE AREA:

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 36 SOUTH, RANGE 18 EAST, SARASOTA COUNTY, FLORIDA, AND BEING A PORTION OF THE LANDS OF THE SCHOOL BOARD OF SARASOTA COUNTY KNOWN AS BOOKER HIGH SCHOOL, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A 5/8-INCH REBAR FOUND AT THE RIGHT-OF-WAY INTERSECTION OF SEMINOLE GULF RAILWAY (HAVING A 100-FOOT RIGHT-OF-WAY) AND MYRTLE STREET (RIGHT-OF-WAY VARIES), SAID REBAR HAVING A FLORIDA GRID NORTH, NAD83, WEST ZONE VALUE OF N:1103003.5977 E:480127.4737; THENCE RUNNING ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF MYRTLE STREET, SOUTH 88°44'31" EAST, 743.75 FEET TO A POINT; THENCE LEAVING SAID RIGHT-OF-WAY AND RUNNING, SOUTH 01°15'29" WEST, 60.11 FEET TO A POINT; THENCE, NORTH 88°44'31" WEST, 231.47 FEET TO A POINT; THENCE, NORTH 01°26'11" EAST, 28.16 FEET TO A POINT; THENCE, NORTH 89°20'43" WEST, 10.00 FEET TO A POINT HAVING A FLORIDA GRID NORTH, NAD83, WEST ZONE VALUE OF N:1102960.5191 E:480628.0167 AND THE TRUE POINT OF BEGINNING; THENCE RUNNING, NORTH 00°39'17" EAST, 28.25 FEET TO A POINT; THENCE, SOUTH 89°20'43" EAST, 48.50 FEET TO A POINT; THENCE, SOUTH 00°39'17" WEST, 28.25 FEET TO A POINT; THENCE, NORTH 89°20'43" WEST, 48.50 FEET TO A POINT AND THE POINT OF BEGINNING.

BEARINGS BASED ON FLORIDA GRID NORTH, NAD83, WEST ZONE.

SAID TRACT CONTAINS 0.0315 ACRES (1,370 SQUARE FEET), MORE OR LESS, AS SHOWN IN A SURVEY PREPARED FOR MILESTONE COMMUNICATIONS BY POINT TO POINT LAND SURVEYORS, INC. DATED AUGUST 30, 2023, LAST REVISED SEPTEMBER 8, 2023.

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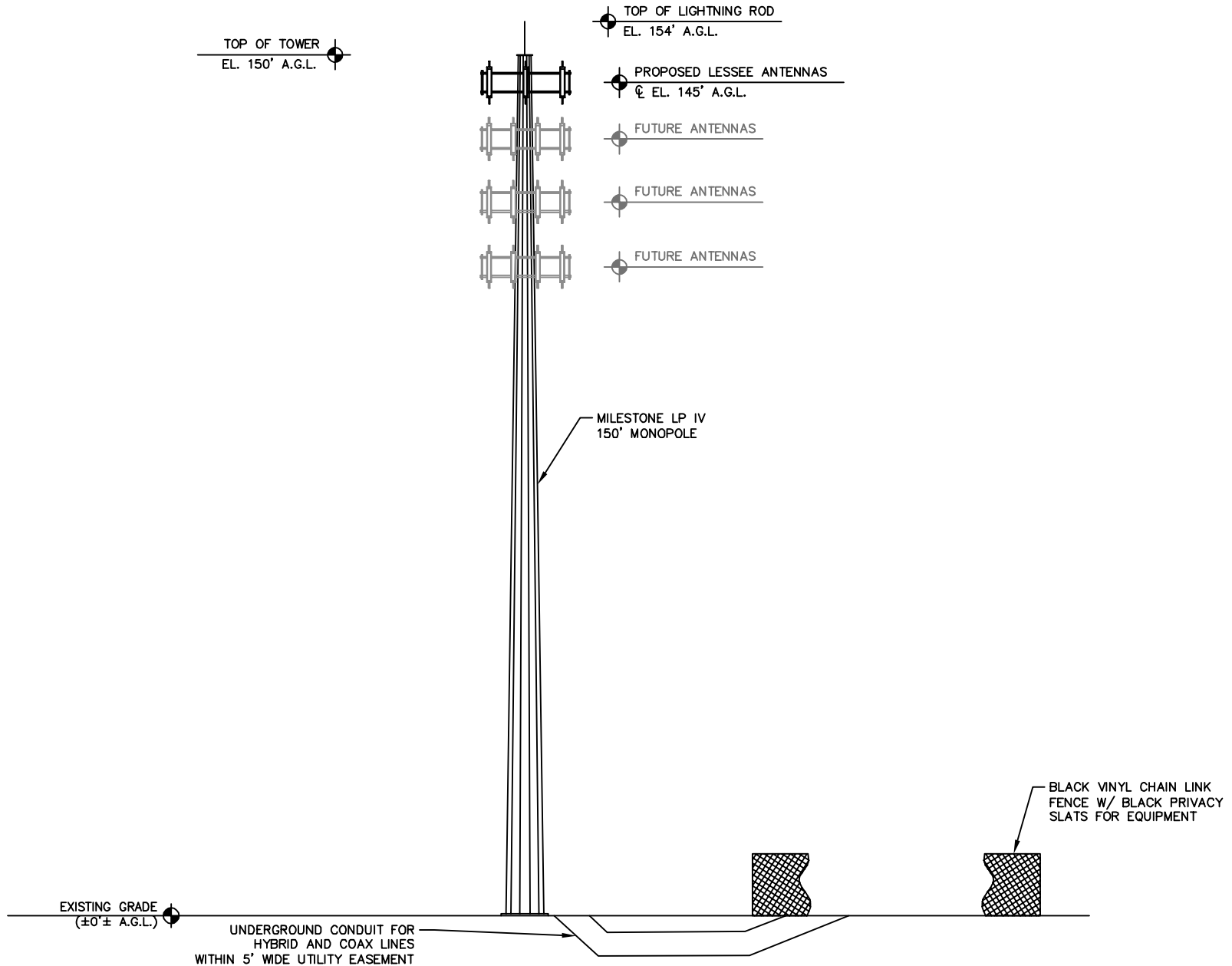
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|---|-----------|-----------|-------|----------|-------|---|--------|-----|----------|-----|---|-----------------------|--|--|---|--|
| <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td style="padding: 2px;">JOB No.:</td><td style="padding: 2px;">013273014</td></tr> <tr><td style="padding: 2px;">DATE:</td><td style="padding: 2px;">09/13/23</td></tr> <tr><td style="padding: 2px;">REV.:</td><td style="padding: 2px;">0</td></tr> <tr><td style="padding: 2px;">DRAWN:</td><td style="padding: 2px;">WTB</td></tr> <tr><td style="padding: 2px;">CHECKED:</td><td style="padding: 2px;">DMF</td></tr> </table> | JOB No.: | 013273014 | DATE: | 09/13/23 | REV.: | 0 | DRAWN: | WTB | CHECKED: | DMF |  <small>11720 AMBER PARK DRIVE, SUITE 600, ALPHARETTA, GA 30009 PHONE: 770-619-4280 WWW.KIMLEY-HORN.COM</small> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td style="padding: 2px;">Site Visit Attendees:</td></tr> <tr><td style="padding: 2px;"> </td></tr> <tr><td style="padding: 2px;"> </td></tr> </table> | Site Visit Attendees: | | | PROPOSED MONOPOLE TOWER BOOKER HS 3201 N ORANGE AVE SARASOTA, FL 34234 SARASOTA COUNTY | EXHIBIT A-1 MILESTONE LP IV BOOKER HS LEASED PREMISES SHEET 4 OF 4 NOT TO SCALE NOT FOR CONSTRUCTION |
| JOB No.: | 013273014 | | | | | | | | | | | | | | | |
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EXHIBIT A-2

Tower Profile

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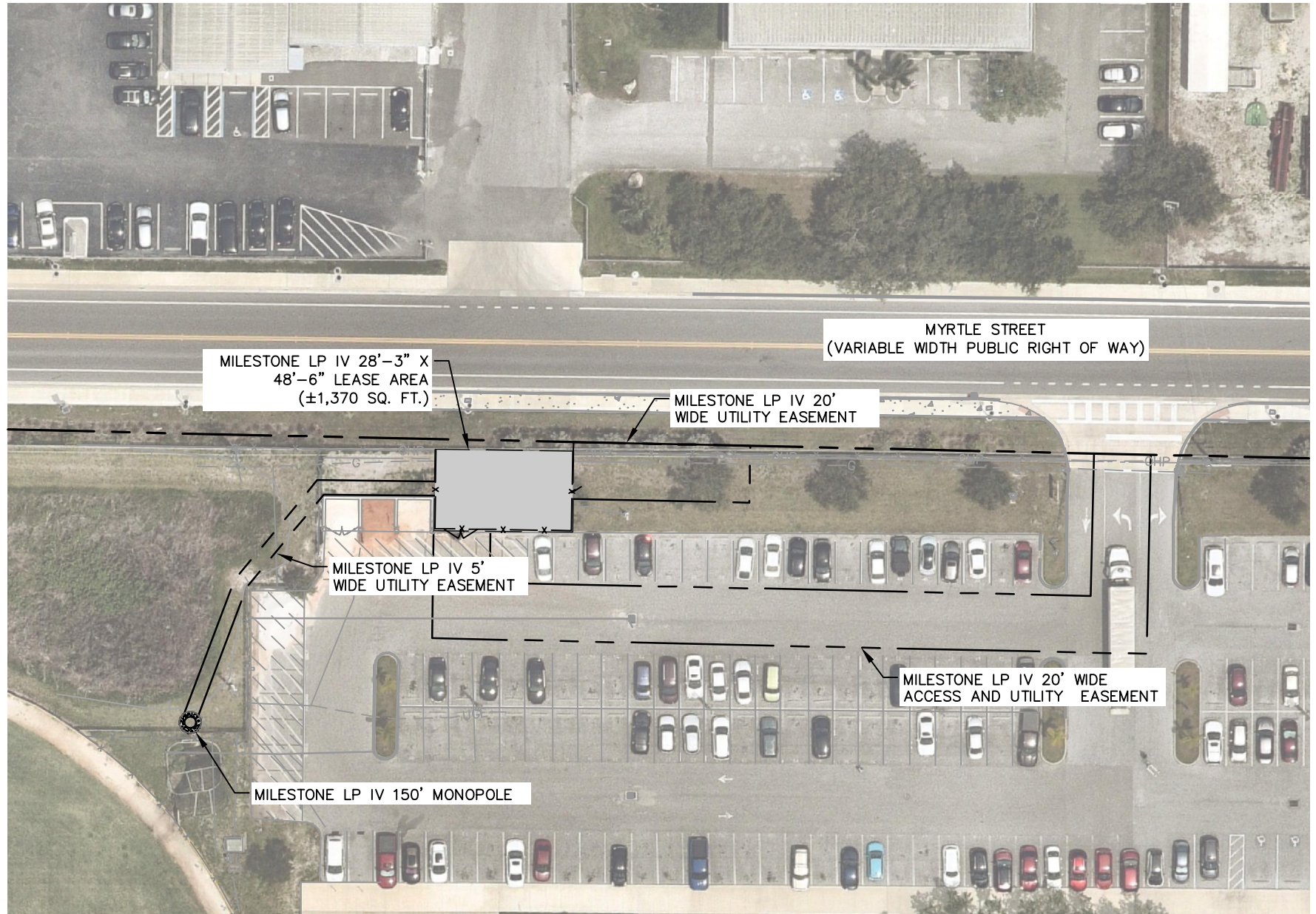
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 SARASOTA, FL 34234
 SARASOTA COUNTY

EXHIBIT A-2 MILESTONE LP IV BOOKER HS
 TOWER PROFILE
 SHEET 1 OF 1
 NOT TO SCALE
 NOT FOR CONSTRUCTION

EXHIBIT B

Easements

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Site Visit Attendees:

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PROPOSED MONOPOLE TOWER

BOOKER HS

3201 N ORANGE AVE
SARASOTA, FL 34234
SARASOTA COUNTY

EXHIBIT B MILESTONE LP IV BOOKER HS
ACCESS AND UTILITY EASEMENT
SHEET 1 OF 4

SCALE: 1" = 50'

NOT FOR CONSTRUCTION

LEGAL DESCRIPTION FOR 20' WIDE ACCESS AND UTILITY EASEMENT :

TOGETHER WITH A 20-FOOT WIDE NON-EXCLUSIVE ACCESS, FIBER AND UTILITY EASEMENT (LYING 10 FEET EACH SIDE OF CENTERLINE) LYING AND BEING IN THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 36 SOUTH, RANGE 18 EAST, SARASOTA COUNTY, FLORIDA, AND BEING A PORTION OF THE LANDS OF THE SCHOOL BOARD OF SARASOTA COUNTY KNOWN AS BOOKER HIGH SCHOOL, AND BEING MORE PARTICULARLY DESCRIBED BY THE FOLLOWING CENTERLINE DATA:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A 5/8-INCH REBAR FOUND AT THE RIGHT-OF-WAY INTERSECTION OF SEMINOLE GULF RAILWAY (HAVING A 100-FOOT RIGHT-OF-WAY) AND MYRTLE STREET (RIGHT-OF-WAY VARIES), SAID REBAR HAVING A FLORIDA GRID NORTH, NAD83, WEST ZONE VALUE OF N:1103003.5977 E:480127.4737; THENCE RUNNING ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF MYRTLE STREET, SOUTH 88°44'31" EAST, 743.75 FEET TO A POINT AND THE TRUE POINT OF BEGINNING; THENCE LEAVING SAID RIGHT-OF-WAY AND RUNNING, SOUTH 01°15'29" WEST, 60.11 FEET TO A POINT; THENCE, NORTH 88°44'31" WEST, 231.47 FEET TO A POINT; THENCE, NORTH 01°26'11" EAST, 28.16 FEET TO THE ENDING AT A POINT ON THE LESSEE PREMISES.

BEARINGS BASED ON FLORIDA GRID NORTH, NAD83, WEST ZONE.

AS SHOWN IN A SURVEY PREPARED FOR MILESTONE COMMUNICATIONS BY POINT TO POINT LAND SURVEYORS, INC. DATED AUGUST 30, 2023, LAST REVISED SEPTEMBER 8, 2023.

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SARASOTA COUNTY

EXHIBIT B MILESTONE LP IV BOOKER HS
ACCESS AND UTILITY EASEMENT
SHEET 2 OF 4

NOT TO SCALE

NOT FOR CONSTRUCTION

LEGAL DESCRIPTION FOR 20' WIDE UTILITY EASEMENT :

TOGETHER WITH A 20-FOOT WIDE UTILITY EASEMENT (LYING 10 FEET EACH SIDE OF CENTERLINE & EXTEND 10 FEET PAST THE POINT OF TERMINUS) LYING AND BEING IN THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 36 SOUTH, RANGE 18 EAST, SARASOTA COUNTY, FLORIDA, AND BEING A PORTION OF THE LANDS OF THE SCHOOL BOARD OF SARASOTA COUNTY KNOWN AS BOOKER HIGH SCHOOL, AND BEING MORE PARTICULARLY DESCRIBED BY THE FOLLOWING CENTERLINE DATA:

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BEARINGS BASED ON FLORIDA GRID NORTH, NAD83, WEST ZONE.

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SHEET 3 OF 4

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TOGETHER WITH A 5-FOOT WIDE CABLE & UTILITY EASEMENT (LYING 2.5 FEET EACH SIDE OF CENTERLINE) LYING AND BEING IN THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 36 SOUTH, RANGE 18 EAST, SARASOTA COUNTY, FLORIDA, AND BEING A PORTION OF THE LANDS OF THE SCHOOL BOARD OF SARASOTA COUNTY KNOWN AS BOOKER HIGH SCHOOL, AND BEING MORE PARTICULARLY DESCRIBED BY THE FOLLOWING CENTERLINE DATA:

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BEARINGS BASED ON FLORIDA GRID NORTH, NAD83, WEST ZONE.

AS SHOWN IN A SURVEY PREPARED FOR MILESTONE COMMUNICATIONS BY POINT TO POINT LAND SURVEYORS, INC. DATED AUGUST 30, 2023, LAST REVISED SEPTEMBER 8, 2023.

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